



**CITY OF MARQUETTE
PLANNING AND ZONING
300 W. BARAGA AVENUE
MARQUETTE, MI 49855
(906) 225-0425
www.mqtcty.org**

MEMORANDUM

TO: Planning Commission
FROM: Andrea Landers, Planning/Zoning Official
DATE: August 12, 2015
SUBJECT: **01-PUD-08-15 (also 17-SPR-08-15) – Preliminary PUD plan review located at 850 W. Baraga Ave. (PIN: 0130100, 0240013, 0514071, and 0514072)**

.....

The Planning Commission is being asked to review an application for a preliminary Planned Unit Development (PUD) approval. The PUD is being reviewed for concept approval/denial on August 18, 2015, if approved the next step in this process is to conduct a preliminary site plan review and draft a recommendation to the City Commission, who will issue final approval of the PUD.

If the PUD is approved during this, and subsequent review by the City Commission, the developers will then complete the process later in the year with a final site plan review performed by the Planning Commission to ensure consistency with a PUD contract.

All notices have been sent in accordance with the Zoning Ordinance and State Law. No correspondence has been received.

Please see the attached STAFF FILE REVIEW/ANALYSIS for more specific information regarding the proposed PUD.

Recommended Action:

In accordance with the Zoning Ordinance, the Planning Commission should hold a public hearing, review the proposed PUD site plan and support information provided in this packet, and make a recommendation to the City Commission regarding the proposed PUD.

It is also highly recommended that any recommendation regarding the PUD site plan include:

*After review of the PUD site plan dated 07-20-15 and received 7-21-15, and the STAFF FILE REVIEW/ANALYSIS for 01-PUD-08-15, the Planning Commission, who previously established that the PUD met **X** out of 10 required criteria to be eligible for a PUD, recommends that the PUD be (approved/denied) by the Marquette City Commission (for the following reasons/with the following conditions).*



STAFF FILE REVIEW/ANALYSIS

Completed by Andrea M. Landers – Planning/Zoning Official

Reviewed by David Stensaas – City Planner and Zoning Administrator

File Number: 01-PUD-08-15 (also 17-SPR-08-15)

Date: August 11, 2015

Project/Application: Preliminary PUD Approval and Site Plan Review for a the proposed development of a hospital and associated uses on the site

Location: 850 W. Baraga Avenue

Parcel ID: 0130100, 0240013, 0514071, 0514072

Available Utilities: Natural Gas, Electricity, City Water, City Sewer, and Garbage Collection.

Current Zoning: I – Industrial

Surrounding Zoning: North: BG – General Business
PUD- Planned Unit Development
South: RS- Single Family Residential
RM- Multiple Family Residential
East: I – Industrial, RM- Multiple Family Residential, and
RG – General Residential
West: I – Industrial

Zoning District and Standards:

Current Zoning – I

Intent and Uses Allowed:

80.27 I - Industrial District.

1. ***Intent.*** *It is the intent of this district to regulate the establishment of industrial uses in the city in such a way as to prevent the deterioration of the environment to protect the desired qualities of adjoining districts and to exert a minimum nuisance on adjacent uses within this district.*
2. ***Principal Uses*** (See Sec. 80.40.2).
 - A. *All principal uses permitted in the BG zoning district, with the exception of residential and day care uses.*
 - B. *Wholesaling operations.*
 - C. *Warehousing, and distributive operations.*
 - D. *Light Manufacturing.*

3. **Requirements for Principal Uses.**
 - A. Open storage of any equipment, vehicles and all materials, including wastes, shall be screened from public streets, and from adjoining properties by an enclosure consisting of a wall or an obscuring fence of a height of not less than six (6) feet to obscure such stored materials (See also Sec. 80.43.3).
 - B. Open storage shall not be in excess of twenty (20) feet in height.
4. **Conditional Uses (See Sec. 80.65).**
 - A. Heavy manufacturing.
 - B. Major repair and maintenance operations.
 - C. Bulk storage.

Schedule of General Regulations:

Zoning District	Minimum Lot Size	Minimum Lot Width	Minimum Front Yard	Minimum Side Yard	Minimum Rear yard	Maximum Height
I	None	None	25	10	10	80 (f)

(f) In no case shall the height of any structure in the industrial district exceed the horizontal distance from the structure to the property line; where the property abuts a right-of-way, up to 1/2 width of said right-of-way may be used in calculation the required yard; in no instance may the yard be less than the minimum specified in Section 80.40.2.

District Boundary Regulations:

DISTRICT IN WHICH TRANSITIONAL YARD IS REQUIRED	ABUTTING DISTRICT									
	RS	RG	RM	OS	BC	CBD	BG	I	CR	DD
I	40	40	40	25	25	25	25	N A	0	0

This boundary (for placement of structures) is established in order to reduce the impact and potential for conflicts between incompatible land uses abutting district boundaries.

Proposed Zoning – PUD

Intent and Uses Allowed (staff comments, where applicable, are indicated in bold text):

80.30 PUD - PLANNED UNIT DEVELOPMENT

1. *Purpose*
 - a. *The Planned Unit Development (PUD) option is intended to encourage, with City approval, private or public development which is substantially in accord with the goals and objectives of the Community Master Plan.*

- b. *Development permitted under this Section shall be considered as an optional means of development only upon terms agreeable to the City.*
 - c. *Use of the PUD option will permit flexibility in the regulation of land development and benefit the City by:*
 - (1) *Encouraging innovation through an overall development plan to provide variety in design and layout.*
 - (2) *Achieving economy and efficiency in the use of land, natural resources, energy, and in the provision of public services and utilities.*
 - (3) *Encouraging the creation of useful open spaces particularly suited to the needs of the parcel in question.*
 - (4) *Providing appropriate housing, employment, service, and shopping opportunities suited to the needs of residents of Marquette.*
 - d. *The PUD may be used to:*
 - (1) *Permit nonresidential uses of residentially zoned areas.*
 - (2) *Permit residential uses of non-residentially zoned areas.*
 - (3) *Permit densities or lot sizes which are different from the applicable district and to permit the mixing of land uses that would otherwise not be permitted; provided that other objectives are met and the resulting development would promote the public health, safety, and welfare.*
 - e. *Further, it is intended that the PUD shall be laid out so various land uses and building bulk relate to each other and to adjoining existing and planned uses with no material adverse impact of one use on another.*
2. *Definitions*
- a. *A PUD is a zoning district which shall apply to a specific parcel of land or several contiguous parcels of land, for which a comprehensive physical plan has been recommended by the Planning Commission, approved by the City Commission, and documented in a contract between the City and site owner/developer. Such plan and contracted development will establish functional use areas and density patterns; will provide a fixed system of streets, public utilities, drainage, and other essential services; and account for similar factors necessary for and incidental to the intended land uses. The Planning Commission may, but is not required to, consider parcels separated by a public street as eligible for inclusion in a PUD.*
 - b. *A Pattern Book is a document prepared by the applicant's design firm which contains specific information on the site master plan, and architectural designs for planned buildings. Information should include specifications on building materials, size, and dimensions, building elevations, and site design elements such as pedestrian walkways, lighting, landscaping, and signage.*
3. *Criteria for Qualification* & 4. *Submittal of Concept and Request for Consideration of Project Qualifications*

This section has been omitted as the Planning Commission is being asked to review this at their August 18, 2015 meeting.

5. *Submittal and Approval of Preliminary PUD Plan*

Application may be made for consideration with the submission of the following materials:

- a. Submittal of Proposed PUD Plan. An application shall be made to the Community Development Department for review and recommendation by the Planning Commission which complies with Section 80.62 Site Plans, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City.*

(1) A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor

Provided.

(2) A topographic map of the entire area at a contour interval of not more than one (1) foot and spot elevations at intervals not to exceed fifty (50) feet, unless waived. This map shall indicate all major stands of trees, bodies of water, wetlands, and un-buildable areas.

Provided.

(3) A proposed land use plan indicating the following:

(a) Parcel and lot lines, land use, access points, and zoning of all parcels within 100 feet of the PUD site.

The applicant has stated they will provide the missing lot lines within 100 feet of the property at the time of the Final PUD submittal.

(b) Vehicular circulation including major drives and location of vehicular access. Proposed project cross sections including public streets or private roads.

Provided.

(c) Transition treatment, including minimum building setbacks to land adjoining the PUD and between different land use areas within the PUD.

Provided.

(d) The location of nonresidential buildings and parking areas, estimated floor areas, building coverage and number of stories and heights for each structure.

Provided.

(e) The location of residential unit types and densities and lot parcel or land units by frontages and areas.

Provided.

(f) *The location of all wetlands, water and watercourses, and proposed water detention areas.*

Provided.

(g) *The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.*

Provided.

(h) *A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.*

Provided.

(i) *A preliminary grading plan, indicating the extent of grading and delineating any areas which are not to be graded or disturbed.*

Provided.

(j) *An indication of the contemplated water distribution, storm, and sanitary sewer plan.*

Provided.

(k) *A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.*

Provided.

(l) *The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.*

Provided.

(m) *Minimum of two site sections, showing major building relationships and building site features.*

Provided.

(4) *Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.*

Provided.

(5) *Planning Commission Review of Proposed PUD Plan:*

The Planning Commission shall give notice as provided in Sec. 80.64.5.B and hold a public hearing on the PUD and conduct a site plan review.

(a) The Planning Commission shall review the proposed PUD plan and make a determination as to the proposal's qualification for the PUD option and for adherence to the following objectives and requirements:

1. The proposed PUD adheres to the conditions for qualification of the PUD option and promotes the land use goals and objectives of the City.

TBD by Planning Commission.

2. All applicable provisions of this Section shall be met. Insofar as any provision of this Section shall be in conflict with the provisions of any other section of this ordinance, the provisions of this Section shall apply to the lands embraced within a PUD area.

TBD by Planning Commission.

3. There is, or will be, at the time of development, an adequate means of disposing of sanitary sewage and of supplying the development with water and, that the road system and storm water drainage system are or will be adequate.

TBD by Planning Commission

b. The Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval. The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

TBD by Planning Commission.

Schedule of General Regulations:

Zoning District	Minimum Lot Size	Minimum Lot Width	Minimum Front Yard	Minimum Side Yard	Minimum Rear yard	Maximum Height
PUD	Per approval	Per approval	Per approval	Per approval	Per approval	Per approval

District Boundary Regulations:

No transitional yard is required.

Relationship to Zoning Ordinance Administrative Standards (Staff Comments in Bold Text):

80.60 *Administrative Standards.* For the purpose of administering this ordinance, the Zoning Administrator, the Planning Commission, the Board of Appeals and any other reviewing body or official shall consider each case as an individual case. Consideration shall be given to the location, size, and character of a use to determine if the use will be in harmony with the intent and appropriate and orderly development of the district in which it is situated and will not be detrimental to the orderly development of adjacent districts. Consideration shall be given to the following:

1. *Intent of the Zoning District.*

Please see above - "Zoning Districts and Standards."

2. *Current use of adjacent lands and neighborhood.*

The current use of adjacent lands and the neighborhood is a mix of single family and multiple family residential that are owner-occupied or rentals, offices, storage facilities, retail, service related uses.

3. *Physical appearance of existing or proposed structures (location, height, bulk of building as well as construction materials).*

Please refer to the pattern book pages 10-11 for the Architectural Palette. The architectural elevations indicate a height of 124'-8" for the eight story portion of the building. Please refer to the site plan for the location of the proposed buildings.

4. *The suitability of the proposed landscaping in providing ground cover, screening and decoration on the site.*

TBD by Planning Commission.

5. *The nature and intensity of operations involved in or conducted in connection with the proposed use.*

Operations at the site will be more intense in some respects than the current operations on site, and less intense in some respects. The site will become much more urbanized by the massing of buildings and the 24/7 operation of the facility. There will be regular use of emergency vehicles on and around the site, including ambulances and medical helicopters. Maintenance of the site in winter will require typical snow removal/plowing. The site is currently used intensively by large and small vehicles for municipal service provisions, so the discontinuation of those operations may actually reduce the general level of noise at the site during overnight hours.

6. *The time of use, the physical and economic relationship of one type of use to another.*

There appears to be no conflicts. The site has been used for 24/7 operations of municipal service equipment and facilities for approximately twenty years.

7. *The assembly of persons or employees, which may be hazardous to the neighborhood or incongruous or conflict with normal traffic in the vicinity.*

While there will be an increase in the assembly of persons or employees, no hazardous impact is anticipated.

8. *Vehicular and pedestrian traffic volumes and patterns, particularly of children, as well as vehicular turning movements in relation to traffic flows, intersections and site distances.*

It is anticipated that there will be an increase in traffic volumes on all access roads. Access to the site is proposed to be provided from four roads and the city's multi-use path on the north boundary of the site. US-41 and Baraga Avenue are intended to provide primary access to the site. Washington Street and Spring Street are proposed to provide secondary access to the site. The multi-use path would provide non-motorized site access, and in this location it is anticipated that there will be a substantial increase in non-motorized traffic.

US-41 is classified as *Urban Principal Arterial* per the Community Master Plan (CMP), therefore the capacity of the street is considered to be high. Washington Street is classified as *Urban Minor Arterial* per the CMP, thus the capacity of the street is considered to be relatively high. Baraga Avenue is classified as *Urban Collector* per the CMP, therefore the capacity of the street is considered to be moderate. Spring Street is classified as *Urban Local Street* per the CMP; the capacity of local streets is considered to be low relative to the other classes of streets.

It is unknown at this time how traffic patterns on the streets providing direct access, and the adjacent street network, will be affected. A traffic study is currently being conducted however, and the results will be used to inform the public of the potential changes in traffic patterns, as well as to provide an informed analysis of alternative options for decision makers.

9. *The physical characteristics of the site such as: area, drainage, topography, open space, landscaping, and access to minor and/or major streets*

Access to the site will be from US-41, Baraga Avenue, Spring Street, and Washington Street. Runoff from the proposed development will surface drain to stormwater basins on the north side of Baraga Avenue, and then feed into the existing stormwater management basin - which will be modified - on the south side of Baraga Avenue.

10. *Demands upon public services such as electricity, sewer, water, police, and fire protection, schools and refuse disposal.*

A larger electrical service will be provided to the site. Sewer and water service will also be enlarged to adequately serve the site. Other demands are not anticipated to significantly change in quantity or quality, only in location (less than a mile from the current hospital).

11. *The type and amount of litter, waste, noise, dust, traffic, fumes, glare and vibration which may be generated by such use.*

No major impact anticipated.

12. *Area requirements for the proposed use and the potential for the use or its area requirements to expand.*

The site is proposed to be developed at a higher than normal density and they have plans for expansion in height for the garage, additions to the building, and two separate medical office buildings.

13. *Other factors necessary to maintain property values in the neighborhood and guarantee safety, light, air and privacy to the principal uses in the district.*

The development of this site may provide for an increase in the surrounding property values and it is unlikely to become a nuisance, due to the buffer zones to adjacent residential uses and the proposed street network improvements.

14. *Compliance with the Master Plan.*

Compliance with the Community Master Plan was established during the qualification for PUD hearing.

Relationship to Site Plan Review Standards (Staff Comments in Bold Text):

Per Section 80.62.5.A of the Zoning Ordinance:

(1) *Each site plan shall be designed to ensure that:*

a. *The uses proposed will not harm the public health, safety, or welfare. All elements of the site plan shall be designed to take into account the site's topography, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and ordinary development or improvement of surrounding property for uses permitted in this ordinance.*

The proposed use shown on the plan is consistent with the character of most of the surrounding area.

b. *Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, and other elements shall be*

designed to promote safe and efficient traffic operations within the site and at its access points.

The site plan indicates a proposed round-about on US 41 and a new access from that round-about to Baraga Avenue; a proposed access drive from Washington Street to the north side of the site; four driveways from Baraga Avenue; and a driveway from Spring Street.

- c. *The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned street and pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping centers, and other uses which generate a considerable amount of pedestrian traffic.*

Please refer to Page 6 of the pattern book, and applicant's response to the Planning/Zoning Comments dated 8-10-15, under Pattern Book #4 and #5.

- d. *The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding property.*

A landscape plan is provided.

- e. *Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Surface water on all paved areas shall be collected so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

Runoff from the proposed development will surface drain to stormwater basins on the north side of Baraga Avenue and then feed into the existing stormwater management basin, which will be modified, on the south side of Baraga Avenue.

- f. *All buildings or groups of buildings shall be arranged so as to permit emergency vehicle access as required by the Fire Department and Police Department.*

The Police and Fire Department have reviewed the plans and have no comments regarding emergency vehicle access issues.

- g. *All outside storage areas, including refuse storage stations, shall be screened from the view of the street and/or adjacent residentially zoned properties. All loading and unloading areas shall be reasonably screened for residentially zoned properties.*

The site plan indicates a loading dock, which is proposed to be screened from the bike path by plantings.

- h. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and bodies of water so that it does not impede the vision of traffic along adjacent streets or impair navigation on the waterway. Flashing or intermittent lights shall not be permitted.*

A photometric plan is included for review. Lighting is proposed to be provided by 30-foot high single and double headed pole luminaries for the parking lots. The applicant proposes building accent lights to be 24 feet in height, and lighting used solely for pedestrians to not exceed 16 feet in height. Please refer to applicant's response to Planning/Zoning Comments, Sheet E1.1 #1 regarding the missing helipad lights. Three bollard lights along the sidewalk from the helipad to the building are proposed.

- i. For consistency in areas where adjoining properties face the street, the Planning Commission may require that primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

Building orientation for all buildings is primarily towards Baraga Avenue and the US-41/M-28 corridor.

- j. No noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.*

It is not anticipated that this proposed hospital campus will be a nuisance to surrounding properties, but emergency service vehicles are anticipated to increase the level of noise in the area somewhat. However, since the extension of Seventh Street was completed this general area has been subject to the regular passage of ambulances using the Seventh St. corridor for access to the current hospital, many of which pass with sirens in use.

Additional Comments:

The off-site improvements will be provided by the City in accordance with a negotiated development agreement as part of the Brownfield/Act 381 plans.

Attachments:

- PUD Application with letter dated July 21, 2015 (see concept attachments)
- Site Plan Review application
- Applicant's response to pre-application mtg staff comments (see concept attachments)
- Staff comments for official submittal (see concept attachments)
- Applicant's response to staff comments (see concept attachments)
- Area Map (see concept attachments)
- Zoning Map (see concept attachments)
- Photos of Site (see concept attachments)
- PUD Site Plan (see concept attachments)
- Pattern Book

**CITY OF MARQUETTE
SITE PLAN REVIEW APPLICATION**



CITY STAFF USE	
Parcel ID #: <u>0240013</u> <u>0514071</u> <u>0514072</u> <u>0130100</u>	File #: <u>17-SPR-08-15</u>
Receipt/Inv #: <u>inc in</u> Check #: <u>01-PW0-08-15</u>	Received by and date: <u>AB 7-21-15</u>
Site Plan (12 copies) Submitted: <input checked="" type="radio"/> Y <input type="radio"/> N	Hearing Date: <u>8-18-15</u> Notice Date: <u>7-31-15</u>
Application complete (checklist, etc): <input checked="" type="radio"/> Y <input type="radio"/> N	
Does the site plan meet the required items: <input checked="" type="radio"/> Y <input type="radio"/> N	

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE SITE PLAN REVIEW REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!

FEE SCHEDULE	
Commercial, Industrial, Residential with 3 or more units, and Final PUD Site Plan (includes zoning compliance fee)	
<input type="checkbox"/> Administrative Review	\$229
<input type="checkbox"/> Planning Commission Review	\$689
Revised Site Plan (Developer Initiated)	
<input type="checkbox"/> Administrative Review	\$114
<input type="checkbox"/> Planning Commission Review	\$459

FEE SCHEDULE FOR SITE CONDOMINIUM/PLATS/SUBDIVISIONS	
<input type="checkbox"/> Site Condominium Review	\$1311
<input type="checkbox"/> Revised (Developer Initiated)	\$524
Plats/Subdivision	
<input type="checkbox"/> Preliminary	\$1311
<input type="checkbox"/> Final	\$1311
<input type="checkbox"/> Revised	\$524

If you have any questions please call 228-0425 or e-mail alanders@mqctcy.org. Please refer to www.mqctcy.org to find the following information:

- Planning Commission page for filing deadline and meeting schedule
- Excerpts from the City Zoning Ordinance
 - Section 80.60 Administrative Standards
 - Section 80.62 Site Plans (this is attached to the application)
- If you are applying for a Site Condominium/Plat/Subdivision please review Chapter 85, the Marquette City Subdivision Ordinance

PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Site Plan Review. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

APPLICANT CONTACT INFORMATION

PROPERTY OWNER

Name: City of Marquette, under MOU w/Duke/Lifepoint

Address: 300 W. Baraga Ave.

City, State, Zip: Marquette, MI 49855

Phone #: 906.225.8377

Fax #: _____

Email: Dstachewicz@mgtcty.org

APPLICANT/OWNERS REPRESENTATIVE

Name: Mr. Jeffrey D. Heinze

Address: 1935 21st Ave. South

City, State, Zip: Nashville, TN 37212

Phone #: 615.385.4144

Fax #: _____

Email: jheinze@leainc.com

ARCHITECT

Name: Gresham, Smith and Partners

Address: 1400 Nashville City Center, 511 Union St.

City, State, Zip: Nashville, TN 37219-1733

Phone #: 615.770.8214

Fax #: _____

Email: www.gspnet.com

ENGINEER

Name: Littlejohn

Address: 1935 21st Ave. South

City, State, Zip: Nashville, TN 37212

Phone #: 615.385.4144

Fax #: _____

Email: www.leainc.com

PROPERTY INFORMATION

Location (Street Address): 850 W. Baraga Ave. Property Identification Number: _____

Size of property (frontage / depth / sq. ft. or acres): 39.11 Ac. / 1,880 L.F. frontage on Baraga Ave.

<p>Zoning District: <u>I</u></p> <p>Surrounding Zoning Districts:</p> <p>North <u>BG</u></p> <p>East <u>RG</u></p> <p>South <u>RS & RM</u></p> <p>West <u>I & BG</u></p>	<p>Current Land Use: <u>Municipal Service Ctr.</u></p> <p>Surrounding Land Uses:</p> <p>North <u>Commercial/Gen. Business (BG)</u></p> <p>East <u>General Residential (RG)</u></p> <p>South <u>Single Family Resid. (RS) & Multifamily (RM)</u></p> <p>West <u>Commercial (BG) & Industrial (I)</u></p>
--	---

DESCRIPTION OF PROJECT

Please describe use, building style and materials, ultimate ownership, phasing, start and completion proposed timelines for work, etc.:

The requested Planned Unit Development is being proposed to allow for a Hospital use on the site.

Site development under the PUD is proposed to be in compliance with the plans and campus development standards established by this submittal

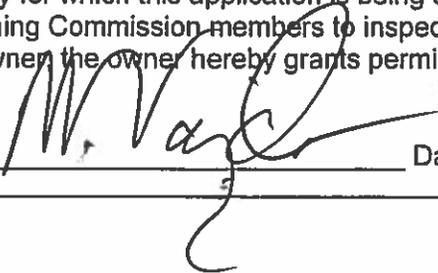
SIGNATURE

I hereby certify the following:

1. I desire to apply for a site plan review indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
2. The request would not violate any deed restrictions attached the property involved in the request.
3. I have read the attached Site Plan Review section of the Zoning Ordinance and understand the necessary requirements that must be completed.
4. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the plan.
5. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full.
6. I acknowledge that no work can commence until the review process has been completed (includes clearing and earthwork).

Applicant Signature: _____ Date: _____

1. I am the legal owner of the property for which this application is being submitted.
2. I authorize City Staff and the Planning Commission members to inspect the site.
3. If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf.

Property Owner Signature:  _____ Date: 7/23/15

Project Name: Marquette Replacement Hospital

File #: 17-SPR-08-15

Parcel #: 0130100, 0240013, 0514071 & 0514072

PLEASE VERIFY THAT YOU HAVE ADDRESSED ALL THE ITEMS ON THIS LIST IN YOUR SITE PLAN. IF THERE IS NOTHING SHOWN ON THE SITE PLAN PLEASE INCLUDE A STATEMENT AS TO WHY IT HAS NOT BEEN SHOWN, OR MARK IT "NOT APPLICABLE". FAILURE TO ADDRESS THESE ITEMS WILL DELAY APPROVAL. SITE PLAN REVIEW WILL NOT BE SCHEDULED UNTIL COMPLETE PLANS ARE SUBMITTED.

ZONING		APPLICANT		DEPARTMENT
		Location in site plan	N/A attach reason	Approved / Waived
1	Name of Applicant	C0.0		
2	Name of Developer	C0.0		
3	Name of Preparer & Professional Seal (architect, engineer, or surveyor)	All Sheets		
4	Date of Preparation/Revisions	All Sheets		
5	North arrow and scale	All Sheets		
6	Complete and current legal description and size of property in acres	C1.1		
7	Property lines and dimensions	C1.1		
8	Zoning and current land use of applicant's and surround property, including property across any public or private street abutting the site	C5.0		
9	Lot lines and structures on the property and within 100 feet of the site's property lines	C5.0		
10	Locations of all significant natural features (waterway, bluff, forest, etc.)	C1.0		
11	Location of access points on both sides of the street within 100 feet of the site; where access is proposed for the site	C5.0		
12	Existing and proposed topography @ 2 foot contour intervals	C6.0		
13	Building footprint(s) (proposed and existing)	C5.0		
14	Building setbacks	C5.0		
15	Building elevations and heights	A1.0,A2.0&A3.0		
16	Existing and proposed signage (dimensions, area, heights, clearances and locations)	Refer to Pattern Book		
17	Illumination and construction details	E1.1		
18	Floor areas and ground coverages for residential		N/A	
19	Indication of street right-of-way	C5.0		
20	Document access easements or agreements existing and proposed			
21	Landscape preservation and planting details, common name, number and size at installation	L1.0 thru L1.3		
22	Location and dimensions of parking spaces and proposed access drives - distances from adjacent driveways	C5.0 thru C5.3		
23	Number of parking spaces required vs. number shown	C5.0		

		APPLICANT		DEPARTMENT
		Location in site plan	N/A attach reason	Approved / Waived
PLANNING				
24	Name of existing & proposed streets; ROW & pavement widths and type	C5.0		
25	Identification of existing and proposed pedestrian or non-motorized paths	C5.0 thru C5.3		
26	Character of development as related to the surrounding property and future development of the surrounding area	C5.0		
27	Traffic access management (features, traffic calming, etc.)	C5.0 thru C5.3		
28	Identify phases of development; provide starting & completion dates	Begin Spring 2016, Completion Spring 2018		
29	ADA compliance/issues	C6.0-C6.3		
30	Location of waste storage/screening & outdoor storage areas	C5.0 & L1.2		
31	Location of loading/unloading areas and method of screening	C5.0, C5.2 & L1.2		
32	Effect of project on public street connectivity	C5.0 Access fr. 3 public streets		
33	Effect on public trail system connectivity	C5.0 Site connecting to Heritage Trail		
34	Location width and materials of proposed path	C5.0-C5.3		
35	Connectivity of proposed non-motorized and vehicular circulation to current network	C5.0 thru C5.3		
36	Buffering of adjacent to residential areas (fencing , landscaping)	L1.1 thru L1.3		
37	Street horizontal and vertical dimensions, including curve radii	C5.0 thru C5.3		
38	Details of exterior lighting (night sky friendly), location, height and shielding of existing and proposed fixtures	E1.1		

ENGINEERING				
39	Include under general statements: "All utility construction work to be accepted by the City of Marquette into their utility system and all work done in public rights-of-way or easement must be done in accordance with Michigan Department of Transportation and City of Marquette standards and specifications"	C7.0 thru C7.4		
40	Off-street parking lot, curb cut, water, sanitary sewer, storm sewer permits required? (obtain prior to construction activities)	C3.0-C3.1 & C6.0 thru C6.3		
41	Vehicle maneuvering lane size	C5.1-C5.3		
42	Pavement width/type	C5.0		
43	Vegetated buffer or curbing between street and sidewalk and between sidewalk parking areas	L1.1 thru L1.3		
44	Storm sewer in right-of-way shall be reinforced concrete	C6.0-c6.4		
45	Sumps in catch basins?	C6.0-C6.4		
46	Plans to be stamped, dated and signed by a professional engineer	All plan Sheets		
47	Is the downstream storm sewer capacity adequate?	No increase in site runoff		

		APPLICANT		DEPARTMENT
		Location in site plan	N/A attach reason	Approved / Waived
ENGINEERING CONT.				
48	Verify that storm water runoff volume or velocity is not increased onto adjacent properties	No increase in post development runoff		
49	Does any earthwork disturb adjacent properties?	No		
50	Wetland concerns/proper permits obtained?		N/A Letter obtained for DER	
51	Traffic impact minimal to existing conditions (stacking, etc.)?	C5.0		
52	Vehicular and non-motorized circulation	C5.0		
53	Sanitary sewer inlet to outlet angles greater than or equal to 90 degrees?	C7.0 thru C7.4		
54	Is there a hydrant at the end of any proposed dead end water main?	C7.0 thru C7.4		
55	Size and material type of proposed and existing utilities shown?	C7.0 thru C7.4		
56	Street horizontal and vertical dimensions, radii	C5.0-C5.3		
57	Width and materials for non-motorized paths	C5.0-C5.3		
58	Dimension of access points including distance from adjacent driveways or intersecting streets	C5.0 thru C5.3		
59	Profiles will be shown for all utilities to be accepted by the City of Marquette into their utility system. All grades, pipe sizes, pipe materials, inverts and rim elevations will be shown on the profiles (water mains must have a minimum of 6 feet of cover, sanitary sewer mains must be installed under water mains with 1.5 feet of clearance	C7.4		

PUBLIC WORKS				
60	Delineate & dimension all public or private easements	C7.0 - C7.3		
61	Show public utility main locations & sizes within 100 feet of property boundary	C7.0 thru C7.3		
62	Extension or re-routing of public utility systems required	C7.0-c7.3		
63	Capacity and condition concerns of existing utility lines to serve the project	Service coord. w/ city engineering dept.		
64	Abandonment of existing utility lines associated with the project		N/A	
65	Location of existing and proposed utility services (with sizes), including storm water to be shown	C7.0-C7.3		
66	Utility metering requirements of the project	C7.0-C7.3		
67	Backflow and cross connection requirements applicable to the project including any proposed irrigation systems	C7.0 thru C7.3		
68	Sanitary waste pretreatment requirements		N/A	
69	Adequate snow storage provided on the property, without clear vision or utility obstructions	C5.0		
70	Provisions to collect drainage from snow storage areas collected on property	C5.0 thru C5.3		

		APPLICANT		DEPARTMENT
		Location in site plan	N/A attach reason	Approved / Waived
PUBLIC WORKS CONT.				
71	Access to public property (permits required for any work on ROW) (Drive, sidewalk, and trail connections)	C5.0 thru C5.3		
72	Additions or changes to public signing or traffic control required or recommended	C5.0 thru C5.3		
73	Additions to existing public sidewalks, or plowed routes, required or recommended	C5.0		
74	Impact of project on public snow removal/storage	C5.0		
75	Effect on plowing or ice control priorities	C5.0		
76	New signing, overhangs, access ramps, grade changes, retaining walls, fences, etc. to be constructed in City ROW or easements		N/A	
77	Adequate, proper, and accessible on-site waste storage	C7.0-C7.3		
78	Adequate clearances and clear vision maintained for maintenance and sanitation equipment	C7.0 thru C7.4		
79	Removal, trimming, or planting of public trees required	L1.0		
80	Maintenance-friendly design for any portions of the project to become public property	X		
81	Storage of hazardous materials associated with the project near public utilities		N/A	
82	Blasting near public utilities associated with the project	C7.0-C7.3		

FIRE DEPARTMENT

83	Buildings meet NFPA standards/NFPA Life Safety Code 101/ BOCA National Property Maintenance Code	Yes		
84	Proper water supply for fire suppression including fire hydrants and water mains	C7.0 thru C7.3		
85	Safe outlets for flushing fire hydrants	C7.0-C7.3		
86	Easements to test hydrants	C7.0-C7.3		
87	Water supply meets NFPA standards	Yes		
88	Fire Apparatus Access	C5.0		
89	Surface Construction	X		
90	Ability to support fire trucks	X		
91	Fire truck angle of approach	X		
92	Outside turning radius	X		
93	Grade of drive or road ok	X		
94	Overhead clearance adequate	X		
95	Driveways and access roads meet NFPA standards	Yes		

POLICE DEPARTMENT

96	Cross reference with accident data at nearest intersection(s)	X		
97	Any additional info necessary to establish compliance with City Ordinances, State, or Federal Laws	X		

UP Health - Marquette Campus Medical Campus Development Guidelines



Marquette, Michigan

July 20, 2015



G R E S H A M
S M I T H A N D
P A R T N E R S



Littlejohn
An S&ME Company

Purpose and Intent i

A THE CAMPUS

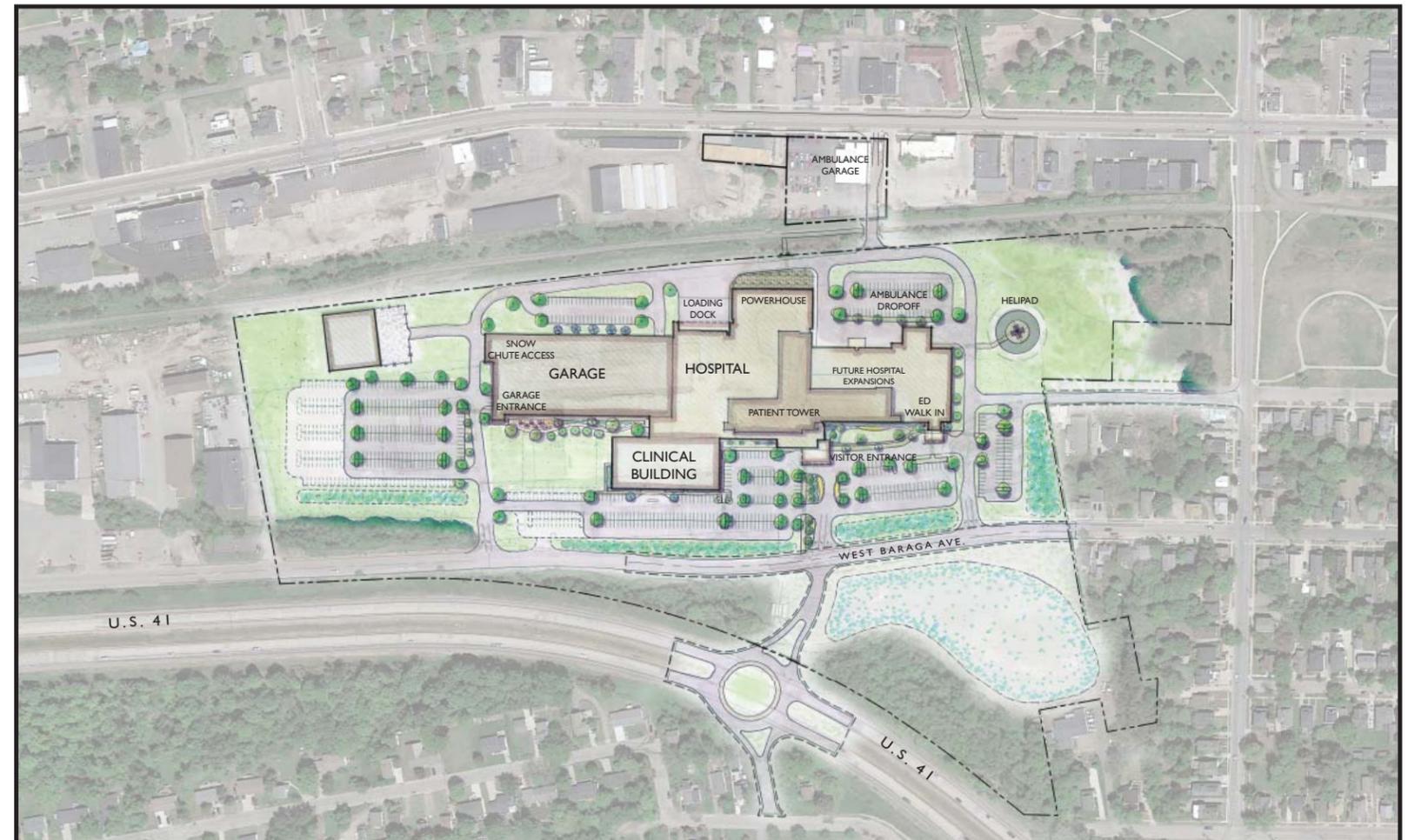
Master Plan	1
■ Development Zones	2
■ Master Plan Development Summary	3
Open Spaces and Streetscapes	4
■ Vehicular Circulation	5
■ Pedestrian Connectors and Zones	6
■ Site Amenity Standards	7
■ Landscaping & Screening	8
■ Lighting	9

B ARCHITECTURAL GUIDELINES

Architectural Palette	10-11
Building Zones & Massing Guidelines	12
■ Guiding Design Imagery	13 - 14

C SIGNAGE GUIDELINES

Site Signage Guidelines	15
Site Signage Plan	16
■ Building Signage Elevations	17 - 21
■ Sign Elevations	22 - 25



Purpose of the Design Guidelines

The purpose of establishing development guidelines is to provide a framework for future development within the UP Health - Marquette medical campus. The guidelines established within will help the user:

- Identify the character desired for the overall campus development with regard to site elements and architectural design.
- Understand how new development should complement the physical form of the site and the approved master plan.
- Implement the goals and objectives consistent with the medical campus vision.
- Identify pedestrian linkages and their integrated role within the development to create a walk-able campus environment.

Design Goals

The primary design goals are to create a diverse and integrated medical campus which serves as a strong community destination offering state of the art medical and rehabilitative services, medical office and supporting services.

Genus loci: (Spirit of Place)

As with other successful campus developments, it is imperative that we establish a strong sense of place that serves the needs of the greater community and becomes a destination for those seeking quality health services. The UP - Marquette campus has the rare opportunity to serve as a community destination and anchor within the Marquette community. Additionally, the campus sits along both a major vehicular arterial corridor (U.S. 41) and along the Heritage Trail providing multi-modal access

Environmental sensitivity (Connection to the Earth)

It is our responsibility as stewards of the land to respect and protect the natural environment to the extent possible. Coexistence between the built environment and the natural environment means minimizing negative impacts on established natural systems and providing quality opportunities for human interaction with nature. The UP Health - Marquette Campus reinforces these principles by providing an integrated campus-wide walkway and trail system to offer connectivity to adjacent developments and the town of Marquette.

Pedestrian Friendly

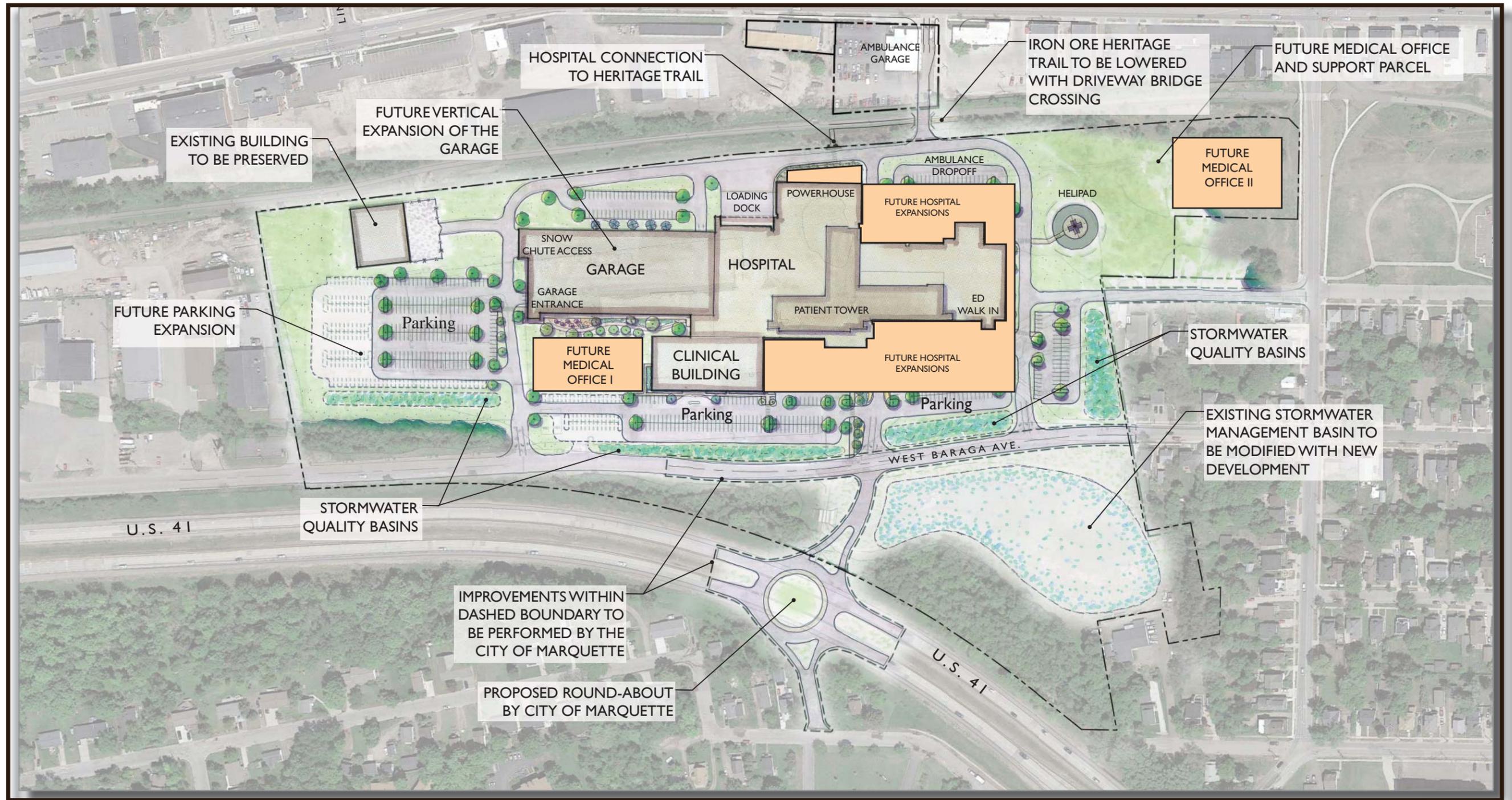
Buildings and vehicular areas must be designed with the consideration of pedestrian circulation, throughout each development site and the campus as a whole. A thoughtful pedestrian system linking the entire community not only encourages healthy habits, but also promotes the use of alternative transportation modes. A pedestrian system which links the medical center to the community at large in a welcoming and safe manner is seen as a positive step forward.

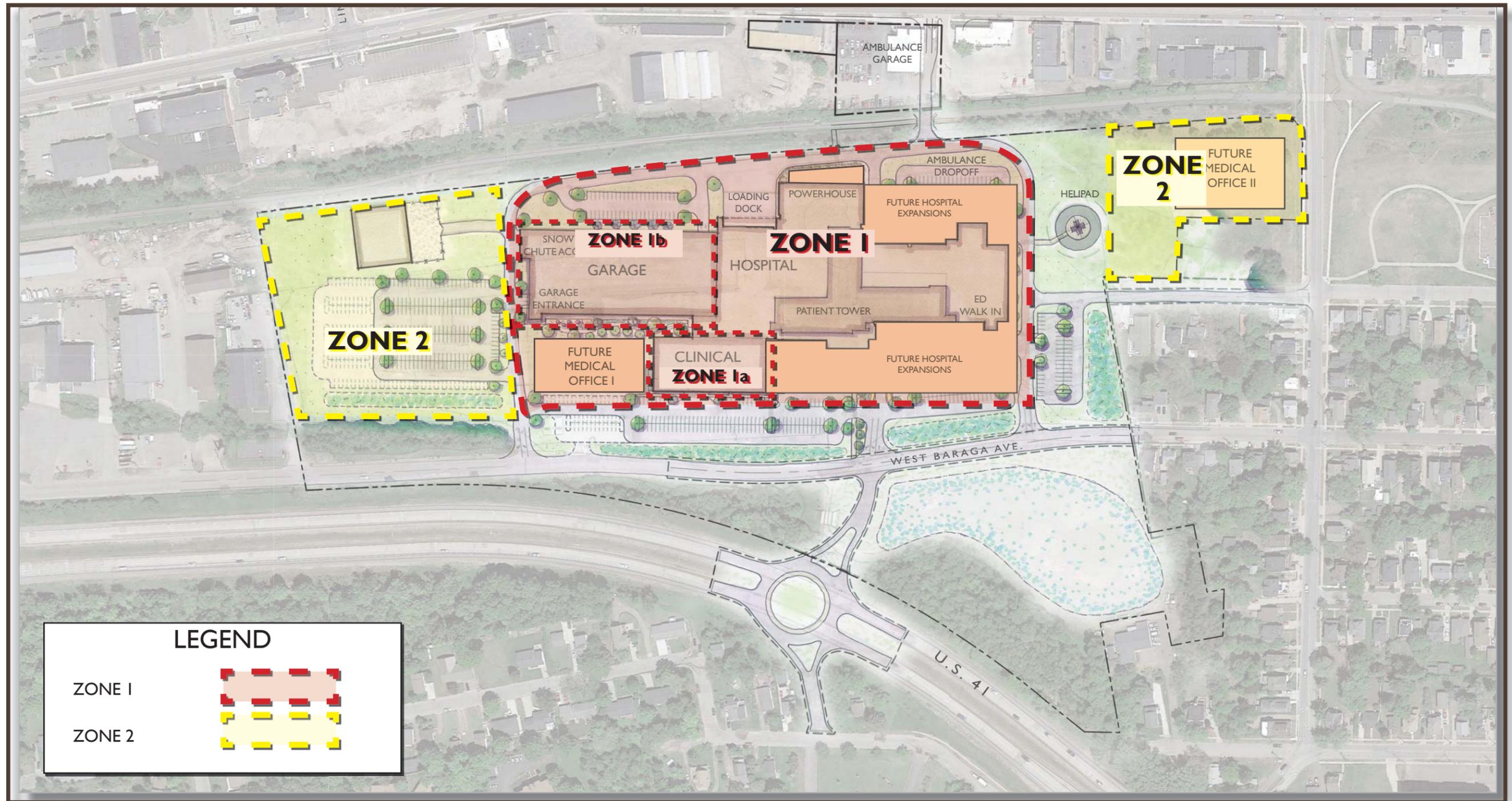
Site furnishings should include benches, trash containers, bollards (when necessary), bike racks, appropriate lighting, and street tree plantings to promote a walk-able campus environment.

Intent of Architectural Guidelines

The Architectural Guidelines are intended to outline the basic design guidelines of the Master Plan and promote the consistency of building architecture throughout the medical campus. The principal intent of these design guidelines is to facilitate the implementation of development in the manner consistent with the overall campus vision. It establishes the basic framework by regulating building types, setbacks and “build-to” lines, colors and materials, signage, parking locations, key architectural features to be incorporated, and other elements necessary for the successful implementation of the Master Plan. It is the intent of the PUD to allow for future build-out of the campus elements as long as they are compliant with the architectural standards.

- Identify appropriate building types and architectural styles.
- Establish key architectural design elements that can serve to establish continuity between the various development types on the campus.
- Establish an approved materials palette for future buildings.
- Define the expectations for each development parcel to follow with regard to overall site landscaping, screening of parking and service areas, screening of trash collection/service areas, signage and lighting standards.





MASTER PLAN DEVELOPMENT SUMMARY

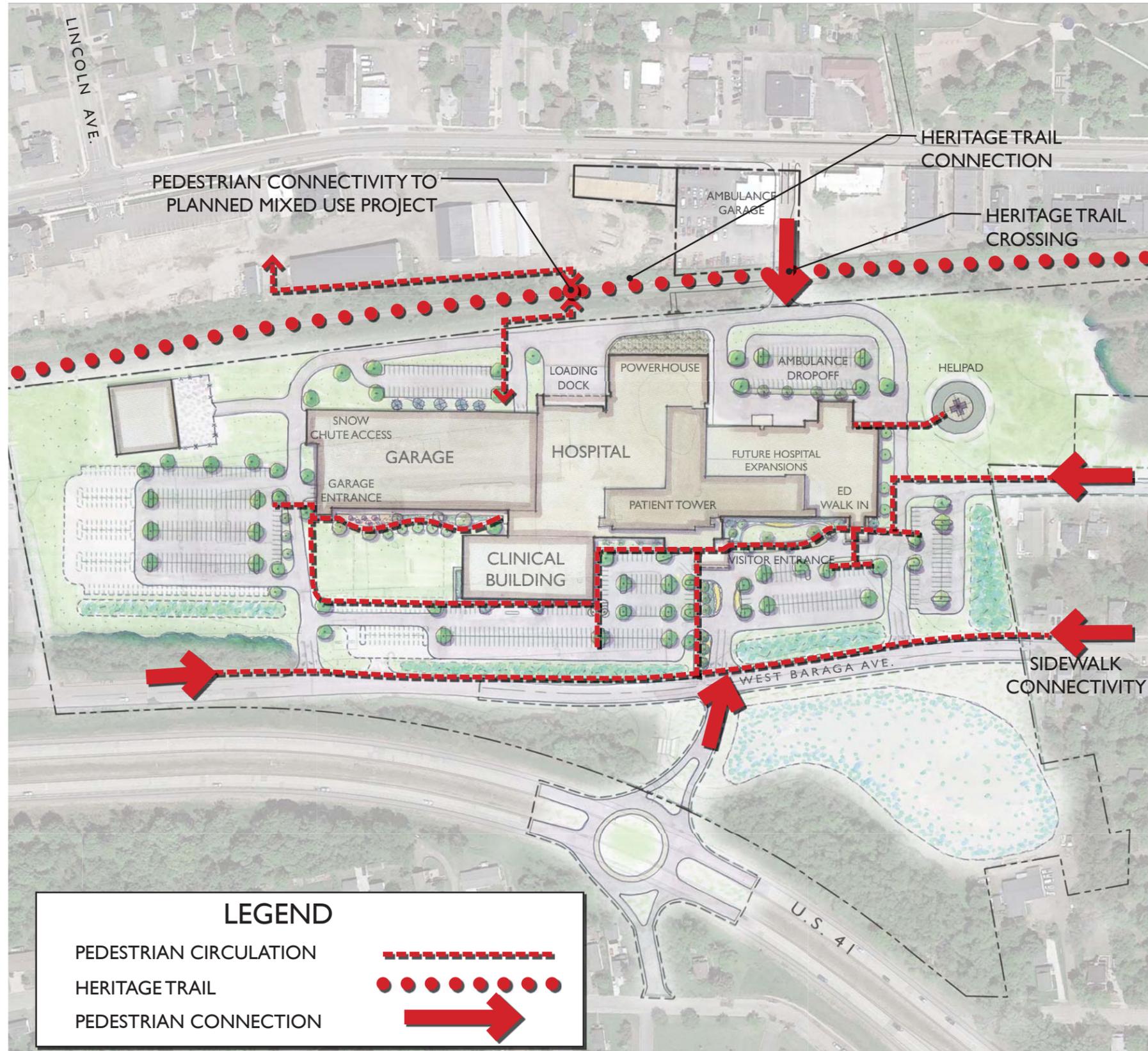
MASTER PLANNING ALLOCATIONS for UP HEALTH - MARQUETTE MEDICAL CAMPUS			
Prepared By: Littlejohn Engineering Associates			
3/28/2012			
<u>Market Segment</u>	<u>Total Acreage</u>	<u>Parking Provided</u>	<u>Total Bldg SF</u>
Overall Develop. Acreage	39.95		
Parking Garage		460 sp.	180,000
Zone 1			
Parking Garage Expansion			180,000
Hospital			535,000
Future Hospital Expansion Allowance			130,000
Clinical Services Building			93,000
Future Clinical Services Building Expansion			125,000
Surface Parking		540 sp.	
Zone 1 - Current Campus + Expansion Allowance		1,000 sp.	1,243,000
Zone 2			
Future Medical Office I (West end of campus)			150,000
Future Medical Office II (East end of Campus)			45,000
Future Support Buildings Allowance			50,000
Zone 2 - Expansion Allowance			245,000
Campus Build Out	<u>39.95</u>		<u>1,488,000</u>



Objectives:

- Create small courtyards and rest nodes that will serve as outdoor gathering and amenity areas for the general public and medical staff.
- Develop a peripheral open space and connections to the Heritage trail system to promote exercise and an attractive edge to the campus.
- Design a stormwater mitigation system that utilizes the open space areas for supplemental stormwater and aesthetic benefits, whenever possible.
- Reinforce circulation corridors and visual axes with street tree plantings to visually reinforce these elements

PEDESTRIAN CONNECTORS & ZONES



Objectives:

- Creating a safe and walkable environment to encourage pedestrian interaction from the community via the street sidewalks, Heritage Trail connectivity and throughout the campus.
- Implement a walking connection to the Heritage Trail throughout the campus, encourage exercise and promote healthy lifestyle choices.
- Establish pedestrian linkages throughout the campus wherein walkways are supplemented with shade tree canopies, walkways are well lighted, site furnishings and rest nodes are interspersed along the linkages, and the walkway system is accessibility compliant.
- Architectural elements are to be utilized to reinforce walkway vistas and wayfinding. A positive experience shall be created for the pedestrian through the introduction of site furnishings, and unique signage treatments.

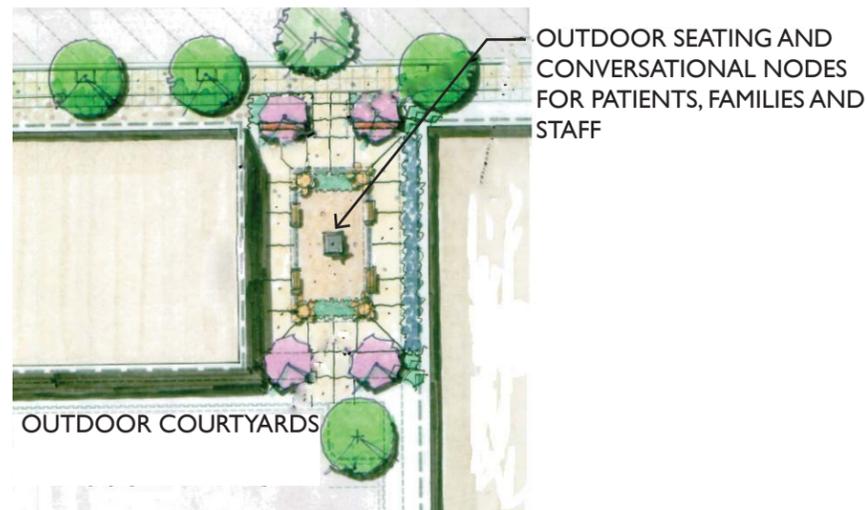
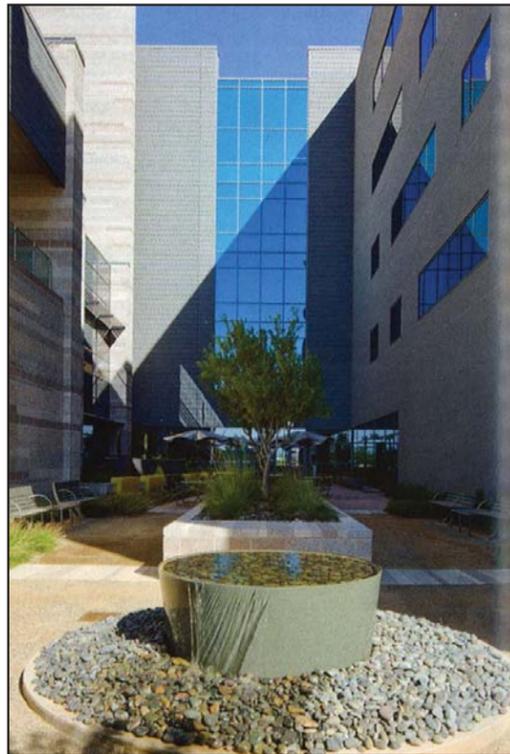


Objective:

Incorporate traffic calming measures, such as crosswalk signage, pedestrian bulb-outs, and textured crosswalks as depicted on the master plan in order to employ drivers to proceed slowly, thus providing a more pedestrian-friendly environment.

Criteria:

- Install curb extensions as shown on the master plan in order to reduce the width of the roadway from curb to curb, thereby slowing vehicles down where the pavement width narrows.
- Design and install crosswalks made up of paving materials distinguished from travel lanes with a texture and color that induces drivers to slow down, while also improving the aesthetic quality of the street.



Objective:

Create small outdoor courtyards and rest nodes that will serve as an amenity for individuals walking the campus and utilizing the Heritage Trail connection for recreational benefit.

Criteria:

- Design the courtyards to be visible from the campus drives for orientation.
- Incorporate sidewalks or buildings on at least two of the courtyards four sides.
- Introduce plantings and/or orient buildings to aid with sheltering the outdoor spaces from weather impacts.
-



Objective:

Construct sidewalks as well as primary pedestrian access ways to provide walkable connections to the peripheral campus buildings and the public street grid. Activate the campus with outdoor seating, site furniture, and seasonal color planters for visual impact.

Criteria:

- Design sidewalks and pedestrian access to accommodate safe pedestrian movement.
- Design sidewalks that provide a comfortable refuge for pedestrians with street trees, benches, seat walls, trash receptacles, and other pedestrian amenities strategically located so as not to interfere with pedestrian movement.
- Plant street trees along both sides of primary corridors in a manner that when they mature they will create a continuous canopy during the summer months.
- Design sidewalks of adequate width to accommodate pedestrians.
- Sidewalks separated from traveling vehicles by planting of street trees.
- Sidewalks to be compliant with ADA standards.
- Other secondary sidewalks may be five (5) feet in width.
- Primary walkways shall be six to eight (6-8) feet in width. Secondary sidewalks may be five (5) feet in width.

Objective:

Devise a vehicular parking system that accommodates an appropriate number of spaces for the uses located on the property and implement the system in a manner that maintains a distinctive and inviting image for the campus.

Criteria:

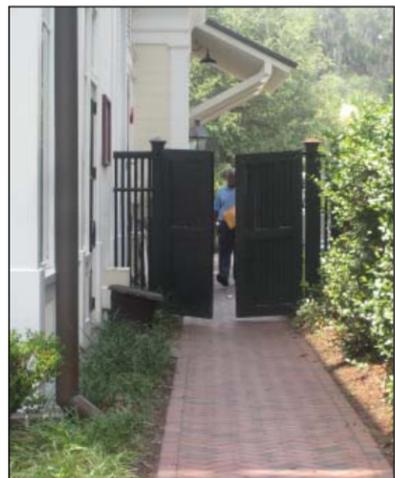
- Lay out and screen parking lots so as to minimize direct views of parked vehicles from the street right-of-way.
- Design parking lots with a hierarchy of circulation: access drives with no parking, lot circulation drives with minimal parking, and parking access aisles for direct access to building entrances.
- Incorporate snow removal areas that allow for ease in plowing and storage of snow.

Design parking lot landscaping in a manner that reflects the hierarchy of circulation, placing importance on the driveways from the street, framing major circulation aisles, and highlighting pedestrian pathways.

- Attempt to or avoid large, unbroken expanses of pavement. Divide parking lots into smaller paved areas that are separated by landscaping, access driveways, or structures.
- Refuse collection and service areas shall be screened from view by a masonry wall with a gate enclosure for trash receptacles or by planting materials.
- Design the appearance of primary parking lot entries in a manner that reflects the overall character of the project. Use specimen plant material, etc. to create visual interest at key lot entry points.



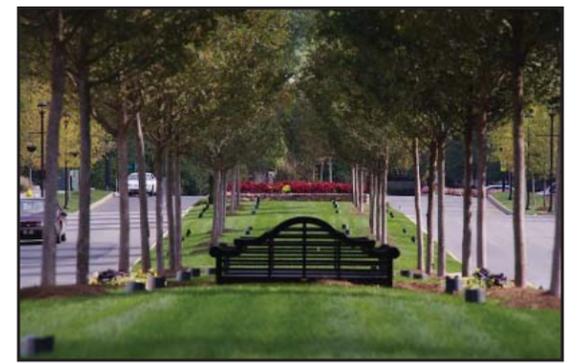
Parking lots separated from the building edge (above left) allow for better pedestrian circulation. Edge landscaping and low walls (above right) or fences enhance entry areas. Landscape bays with trees and plantings ((below) provide visual relief and shade where possible without impacting snow removal.



Buffering & Screening Guidelines

- Parking Lot Screening: Any parking lot adjoining a street right-of-way shall be screened to a height of three feet by walls, berms, landscaping, or a combination of these. If landscaping is used, the planting bed shall be a minimum of 5 feet wide and shall contain tree plantings at 40' maximum intervals on the perimeter.

1. Native plant materials shall be used to the greatest extent possible. Existing plant materials shall be preserved to the greatest extent possible in this area.
2. Native, flowering trees should be used to provide a show against the evergreens.
3. The South parking along Baraga Avenue will be screened from the street by a mix of ornamental grasses, herbaceous plantings within the bioretention areas, evergreen shrubs and trees.



Objective:

Utilize a lighting plan and fixtures that will provide for safe vehicular movement, without compromising pedestrian movement and that will enhance the overall appearance of the project area.

Criteria:

- Design lighting that is appropriate in function and scale for both the pedestrian and the vehicle.
- Design efficient lighting that minimizes light spill and pollution.
- Select luminaire styles, colors, and finishes that complement the architectural features of the campus.
- Luminaire style remain consistent throughout the campus.
- Parking lot light standards not to exceed thirty (30) feet in height.
- Pedestrian routes and driveway crossing zones shall be well lit to promote safety.



Appropriately scaled street lighting can provide adequate light for roadways without detracting from the pedestrian experience. Light standards should reflect the general character of the other street furniture, architecture, and overall desired street character.

Objective:

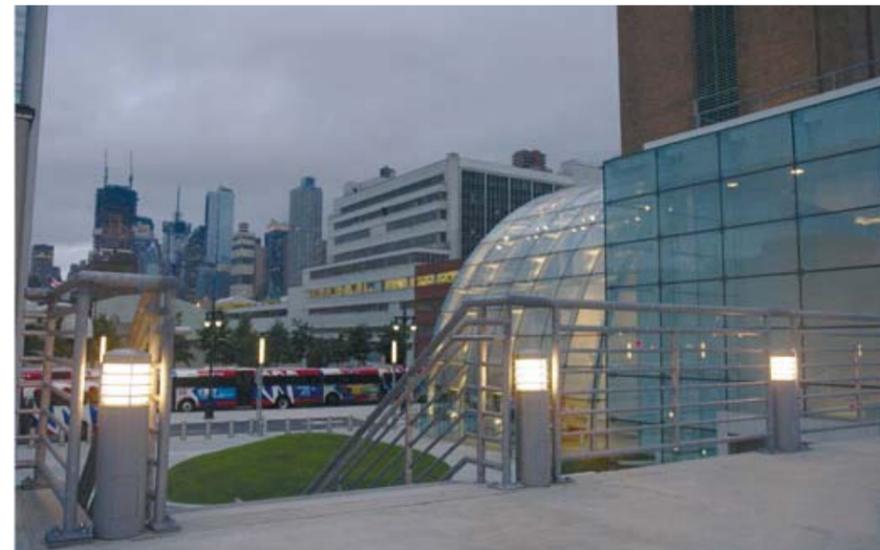
Develop a lighting plan that will provide for safe vehicular and pedestrian movement, and at the same time will help encourage pedestrian activity at night along pedestrian accesses between buildings and connections to parking areas.

Criteria:

- Design pedestrian scaled sidewalk lighting that defines the pedestrian space.
- Illuminate the sidewalk at a level that is consistent with pedestrian activities rather than vehicular movement.
- Fixtures mounted on buildings or used to accent architectural features or landscaping may also be used for pedestrian lighting. Choose fixtures based on their ability to enhance the overall architecture of the building while providing lighting for pedestrians at the same time.
- Use lighted bollards in order to delineate pedestrian pathways.
- Space pedestrian light fixture at consistent intervals throughout the site.
- Lighting used solely for the pedestrian not to exceed sixteen (16) feet in height.



Pedestrian passages, such as those between buildings and parking lots, require lower-scaled lighting fixtures that illuminate walkways. Bollards (above and below), directed facade or sign lighting, and additional fixtures on building facades or taller light standards (left) are appropriate ways to provide adequate lighting for pedestrian activity.



Architectural Principles

Architectural Character:

The UP Health Marquette Planned Urban Development seeks to form a campus that is modern, technically advanced, and employs cutting edge medical care, while also drawing upon the local region for context and inspiration. The language of the campus should aid in instilling confidence in its visitors and patients, and seek to establish a sense of welcoming and comfort.

Marquette draws a significant portion of its identity from its historic downtown of intricate brick and sandstone architecture and locally owned businesses. However, this campus does not seek to simply copy the qualities that define the city, but instead complement and enhance them. Rather than drawing inspiration from the built environment, the new replacement hospital employs a restrained palette formed from the city's other great asset, the natural qualities of the region, in order to avoid mimicking Marquette's unique historical architecture. Positioned together, the downtown is enhanced through the integration of modern, accessible healthcare amenities, while the UP Health campus is improved vastly through its close connection to one-of-a-kind, vibrant commercial districts and residential communities.

Modernity – The façade of the hospital and related buildings represents UP Health's commitment to the proficient delivery of state-of-the-art medical care, and the imagery of the hospital design should reinforce this adherence to quality for patients and visitors before they step foot on campus.

Architectural Palette – Inspiration for the material palette is drawn from the natural imagery of the Marquette region, including the repetition and color of birch trees and the gentle waves and varying colors of Lake Superior. The material palette of the campus is restrained, yet bold, and will have a strong architectural identity consistent with the hospital's important place within the city of Marquette's physical and cultural make-up. New structures shall adhere to the general aesthetic of the campus to promote unity and identity, while still possessing unique variations related to function.

Relationship to the City - The location and scale of the institution predicates that the major facades of the hospital will act as a billboard for the city of Marquette. The identities of both the hospital and the city are deeply connected, and the result should be architecturally unique facades that are as powerful to the campus as they are respectful to the city. The design should contribute to and enhance the skyline.

Scale and Proportion – While the details and composition of the facades are modern, the overall scale of each building should be traditional and balanced. The relationship from each building to the city, to Highway 41 and Washington Street, to other campus structures, and especially to the human scale should be carefully considered. This shall include manipulating the size and material of architectural features differently on ground levels than on facades that address the city and broader context.

Basic Facade Principles

Zone 1 - Hospital

- Highly visible facades shall consist primarily of white architectural precast panels and glass.
- Buildings should incorporate a hierarchy, which shall include a base element consisting primarily of masonry and glass to accommodate pedestrian scale relationships.
- Primary facades should appropriately address both Highway 41 and Washington Street.
- Long building exposures shall be articulated through the use of varied glass and white architectural precast compositions to avoid long uninterrupted facades. The predominant color palette shall be restrained and monochromatic to create a clean, contemporary compliment to the natural context.
- Other miscellaneous natural materials are encouraged, such as wood, masonry, or metal panel elements.
- Window frame colors should be complimentary to the façade and should be consistent across the campus.
- Low-Reflectivity glass shall be used to negate impact of glare on neighboring buildings, roadways, motorists, and pedestrians.
- Entrances should use glass as a means to improve visibility, transparency and foster an easy, welcoming environment.

- Pops of color and other materials may be used to aid in way-finding.
- Entrances should provide complete covered access from vehicle drop-off areas to the entry doorway.
- Dedicated loading areas shall be concealed from public views.
- Maximum building heights are not to exceed 8 stories plus screen walls, elevator overruns, stair overruns, etc.

Zone 1a – Integrated Clinical Services Building

- Highly visible facades shall consist primarily of either white architectural precast panels or masonry, and glass.
- Buildings should incorporate a hierarchy, which shall include a base element consisting primarily of masonry and glass to accommodate pedestrian scale relationships.
- Primary facades should appropriately address both Highway 41 and Washington Street, depending on the relative height of the building.
- Long building exposures shall be articulated through the use of varied glass, masonry, or white architectural precast compositions to avoid long uninterrupted facades. The predominant color palette shall be restrained and monochromatic to create a clean, contemporary compliment to the natural context.
- Other miscellaneous natural materials are encouraged, such as wood, masonry, or metal panel elements.
- Window frame colors should be complimentary to the façade and should be consistent across the campus.
- Low-Reflectivity glass shall be used to negate impact of glare on neighboring buildings, roadways, motorists, and pedestrians.
- Maximum building heights are not to exceed 6 stories plus screen walls, elevator and stair overruns, mechanical pent-houses, etc.

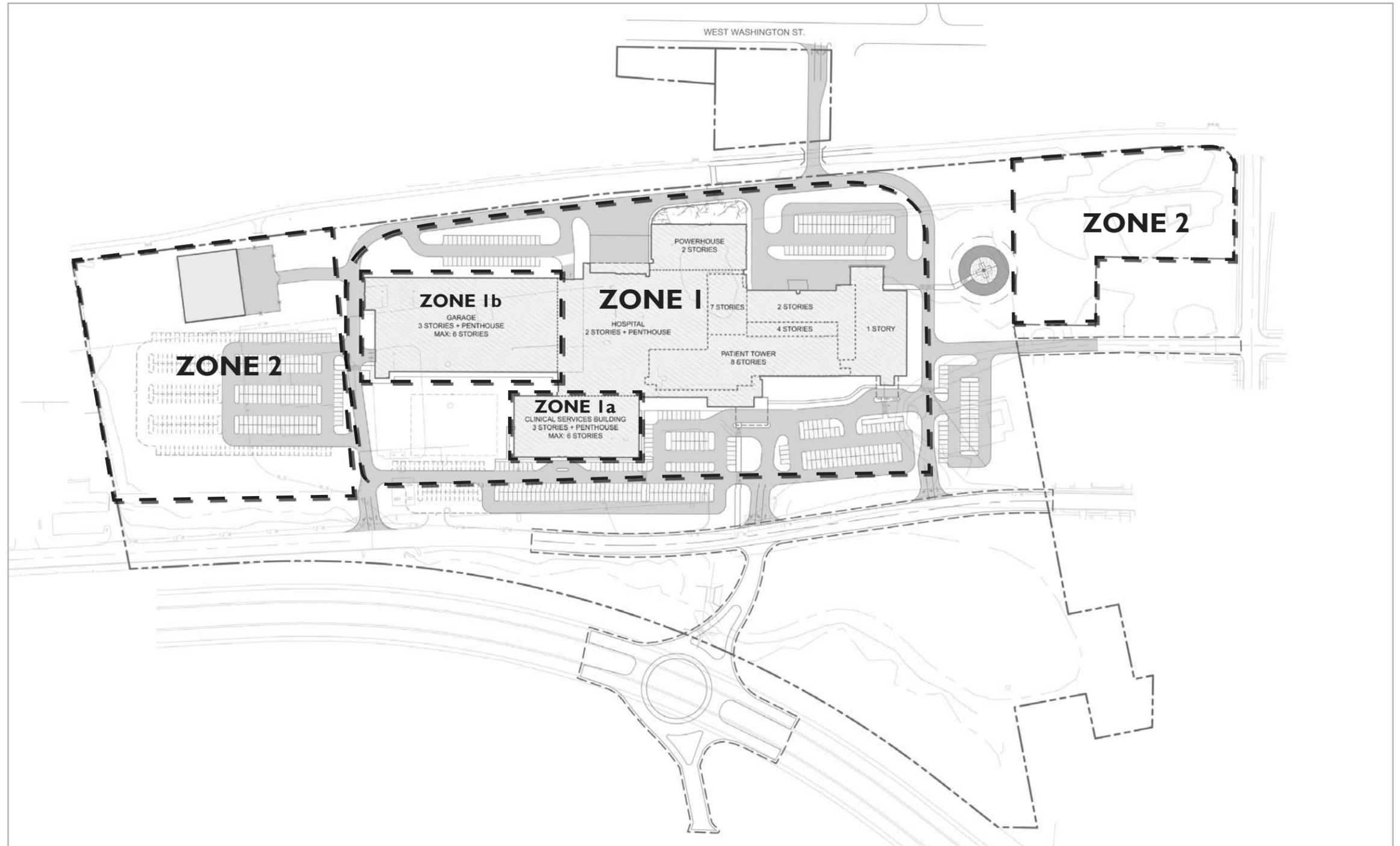
Zone 1b – Garage

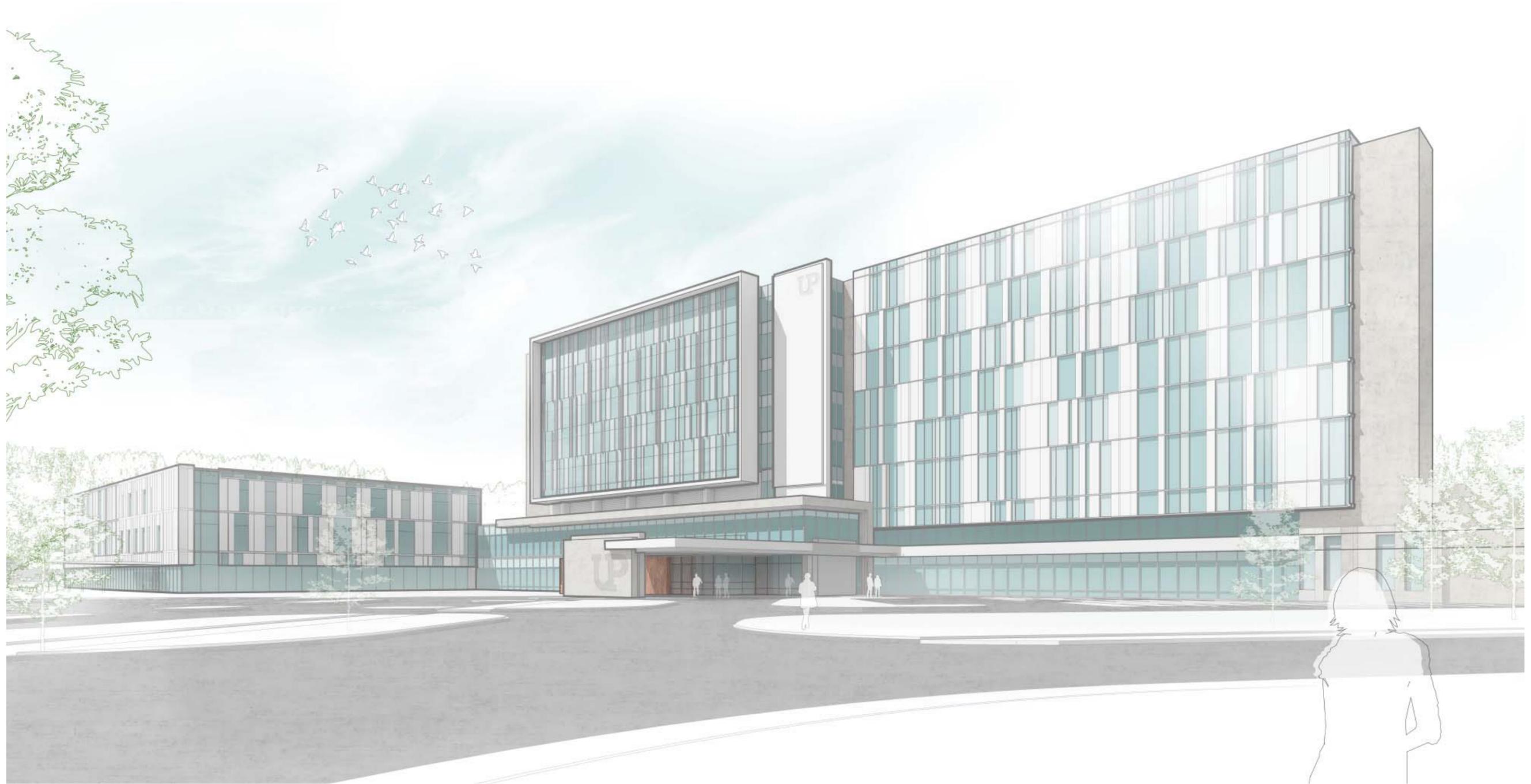
- The garage shall be a structural precast concrete assembly.
- Impact barriers shall be provided either by engineered precast panels, or containment cables.
- Maximum building height is not to exceed 6 stories plus screen walls, elevator and stair overruns, mechanical pent-houses, etc.

Zone 2 – Clinical, Office, and Associated Buildings

- Highly visible facades shall consist primarily of white architectural precast panels and glass.
- Buildings should incorporate a hierarchy, which shall include a base element consisting primarily of masonry and glass to accommodate pedestrian scale relationships.
- Long building exposures shall be articulated through the use of varied glass and white architectural precast compositions to avoid long uninterrupted facades. The predominant color palette shall be restrained and monochromatic to create a clean, contemporary compliment to the natural context.
- Buildings on campus should exhibit an appropriate hierarchy of heights relative to the hospital in order to help guide visitors naturally to its primary entrances.
- Other miscellaneous natural materials are encouraged, such as wood, masonry, or metal panel elements.
- Window frame colors should be complimentary to the façade and should be consistent across the campus.
- Low-Reflectivity glass shall be used to negate impact of glare on neighboring buildings, roadways, motorists, and pedestrians.
- Entrances should use glass as a means to improve visibility, transparency and foster an easy, welcoming environment. Pops of color and other materials may be used to aid in way-finding.
- Maximum building heights are not to exceed 6 stories plus screen walls, elevator overruns, stair overruns, etc.
- The garage shall be structural precast with vertical expansion not to exceed 6 stories.

BUILDING ZONES & MASSING GUIDELINES





Hospital and Clinical Services Building

View from Baraga Street



Main Entrance
View from Entry Drive

Signage Principles:

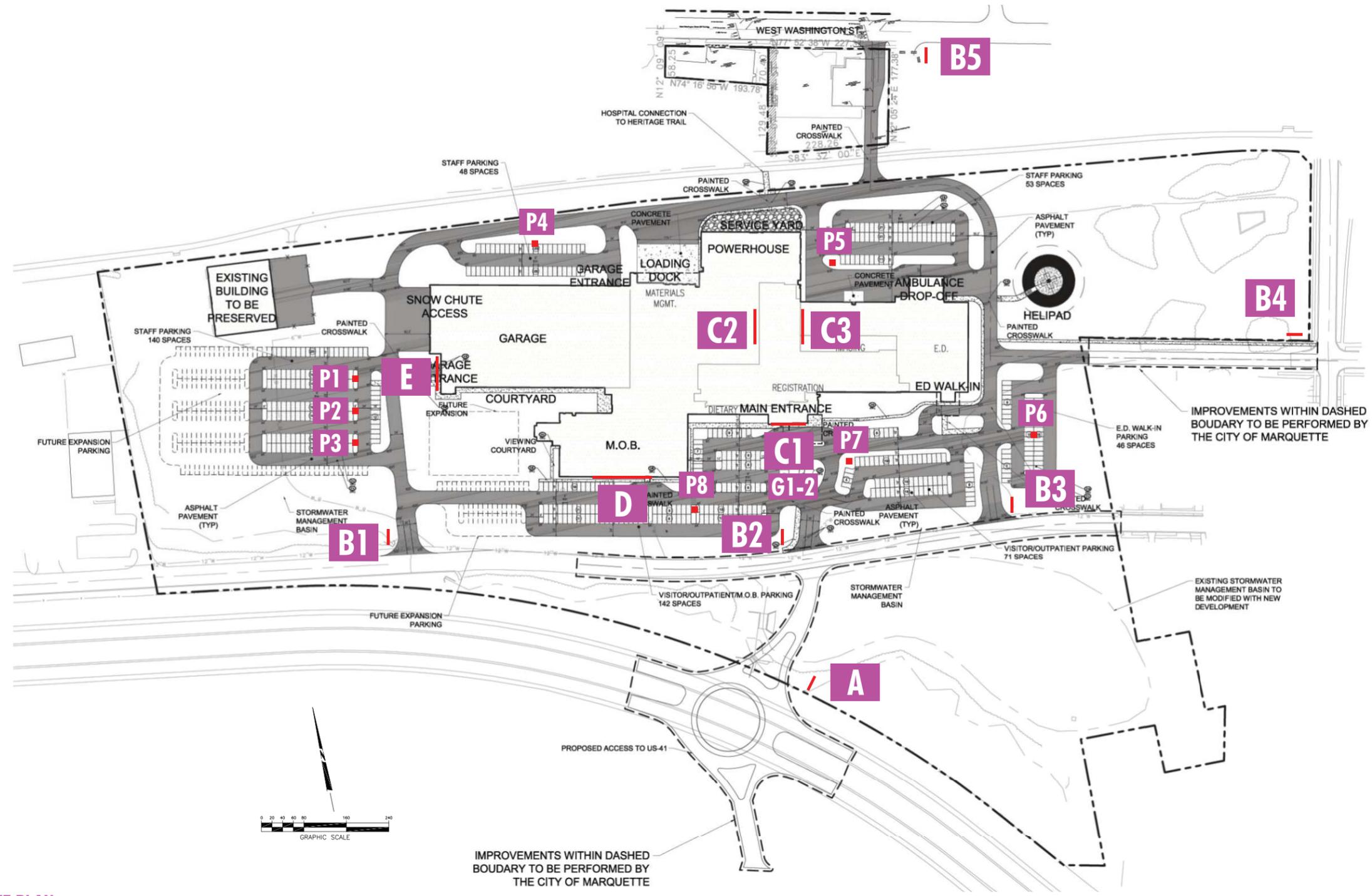
Site signage is an important aspect to any commercial development or mixed-use campus. Signage should effectively communicate the identity of the campus, through the use of materials, colors, and forms consistent with the development theme and Architectural Palette. Monument signage elements will be located at, or very near, major access points into the campus and provide a first impression of the development quality to the public (as well as incorporating necessary information such as campus orientation, and overall development identity).

The size and scale of signage relative to the setting and surroundings should be carefully considered. Site signage should be readable, appropriately-sized, and consistent with the architectural materials utilized within the campus. Landscaping and lighting shall be incorporated to accentuate monument signage elements.

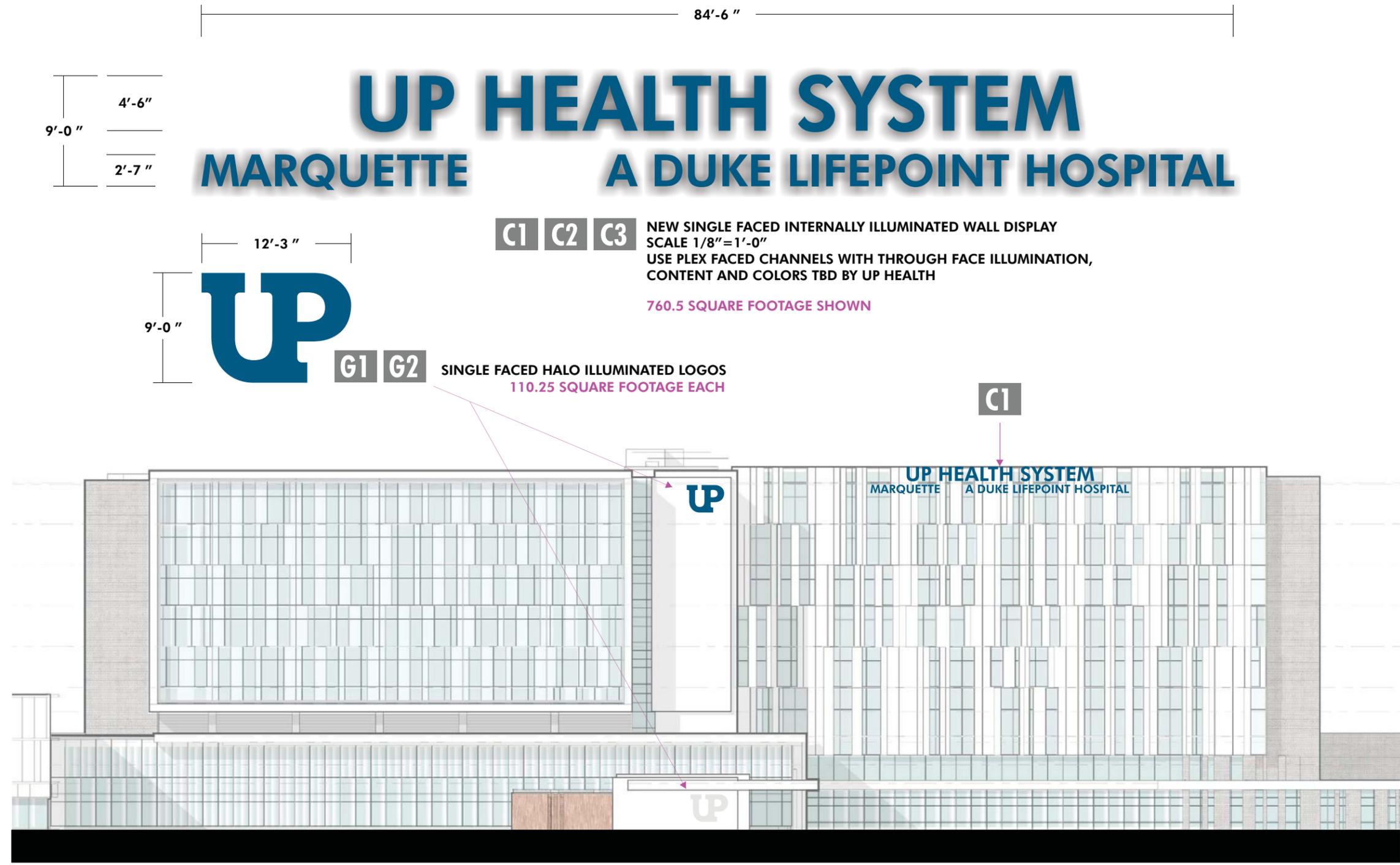
SIGN STANDARDS

- **Signs not permitted:** In addition to signs prohibited in the zoning district, on-premise temporary signs, pole mounted signs, and billboards shall not be permitted. Any sign which has any visible moving part, flashing or oscillating lights, visible mechanical movement of any description, or other apparent visible movement achieved by any means are prohibited in the area. Neon signs are prohibited within all zones of the campus.
- **Limitation on lighting:** Lighted signs shall be either spotlighted, externally lit, or back-lit with a diffused light source.
- **Placement of signs:** Signs shall be placed so as not to obscure key architectural features or door or window openings.
- **Signage size:** Signage size, height and locations shall be in accordance with the standards contained herein.

Note: Variance being requested as part of the PUD for the signage standards defined within the following pages.



SITE PLAN



4'-6"
9'-0"
2'-7"

UP HEALTH SYSTEM

MARQUETTE A DUKE LIFEPOINT HOSPITAL

C1 C2 C3 NEW SINGLE FACED INTERNALLY ILLUMINATED WALL DISPLAY
SCALE 1/8"=1'-0"
USE PLEX FACED CHANNELS WITH THROUGH FACE ILLUMINATION,
CONTENT AND COLORS TBD BY UP HEALTH
760.5 SQUARE FOOTAGE SHOWN

12'-3"
9'-0"
G1 G2 SINGLE FACED HALO ILLUMINATED LOGOS
110.25 SQUARE FOOTAGE EACH

PROPOSED PARTIAL SOUTH ELEVATION (RIGHT SIDE) SCALE 1/32"=1'-0"

100'-0"

4'-6"
9'-2"
2'-8"

UP HEALTH SYSTEM MARQUETTE

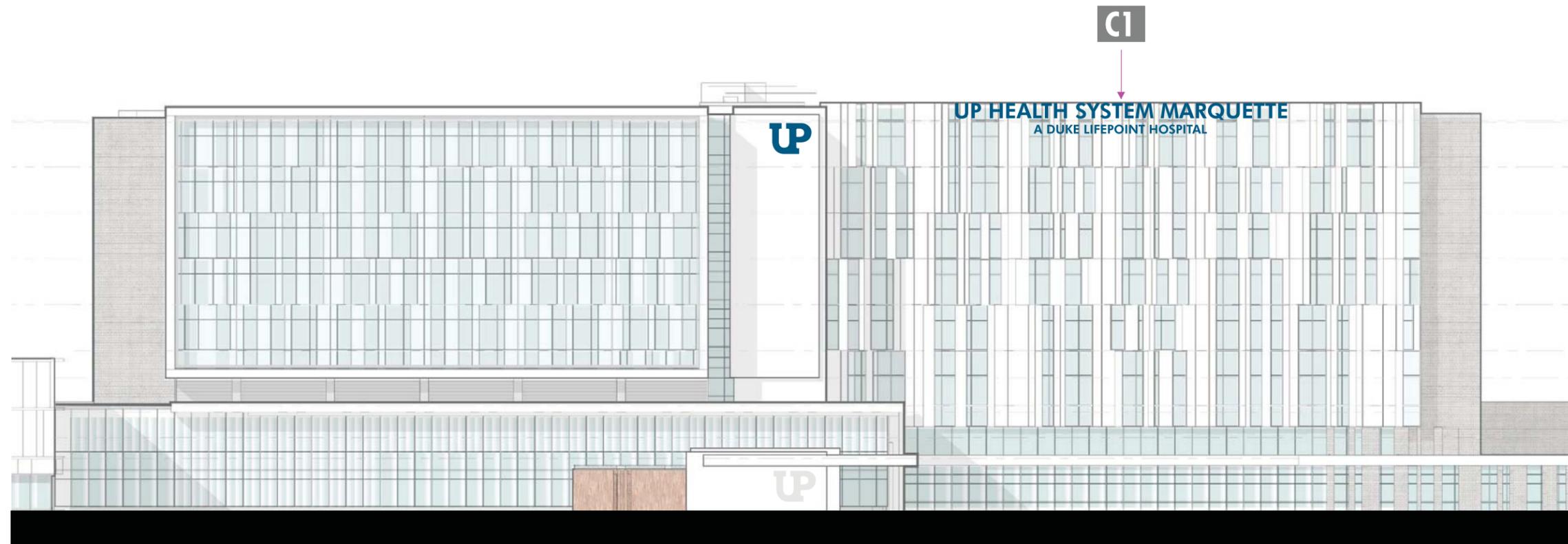
A DUKE LIFEPOINT HOSPITAL

ALTERNATE

C1 | C2 | C3

NEW SINGLE FACED INTERNALLY ILLUMINATED WALL DISPLAY
SCALE 1/8"=1'-0"
USE PLEX FACED CHANNELS WITH THROUGH FACE ILLUMINATION,
CONTENT AND COLORS TBD BY UP HEALTH

916 SQUARE FOOTAGE SHOWN



PROPOSED PARTIAL SOUTH ELEVATION (RIGHT SIDE) SCALE 1/32"=1'-0"

5'-0" 95'-0"

UPPER PENINSULA PAVILION

D NEW SINGLE FACED INTERNALLY ILLUMINATED WALL DISPLAY
SCALE 1/8"=1'-0"
USE PLEX FACED CHANNELS WITH THROUGH FACE ILLUMINATION,
CONTENT AND COLORS TBD BY UP HEALTH

475 SQUARE FOOTAGE SHOWN

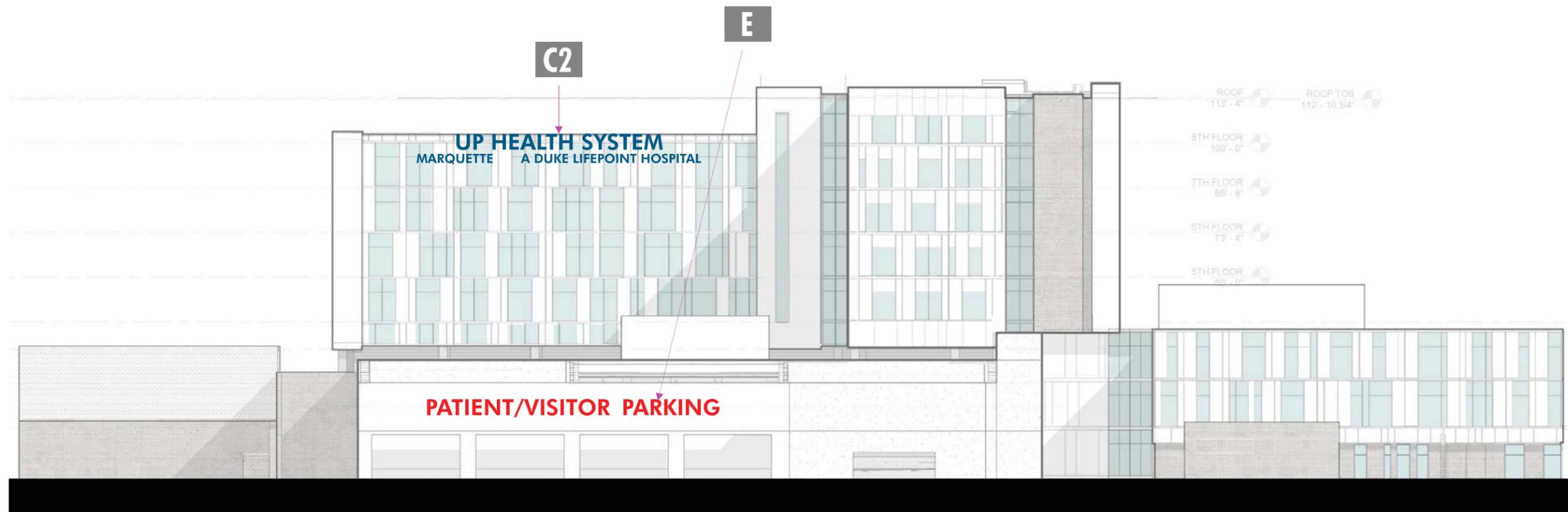


PROPOSED PARTIAL SOUTH ELEVATION (LEFT SIDE) SCALE 1/32"=1'-0"

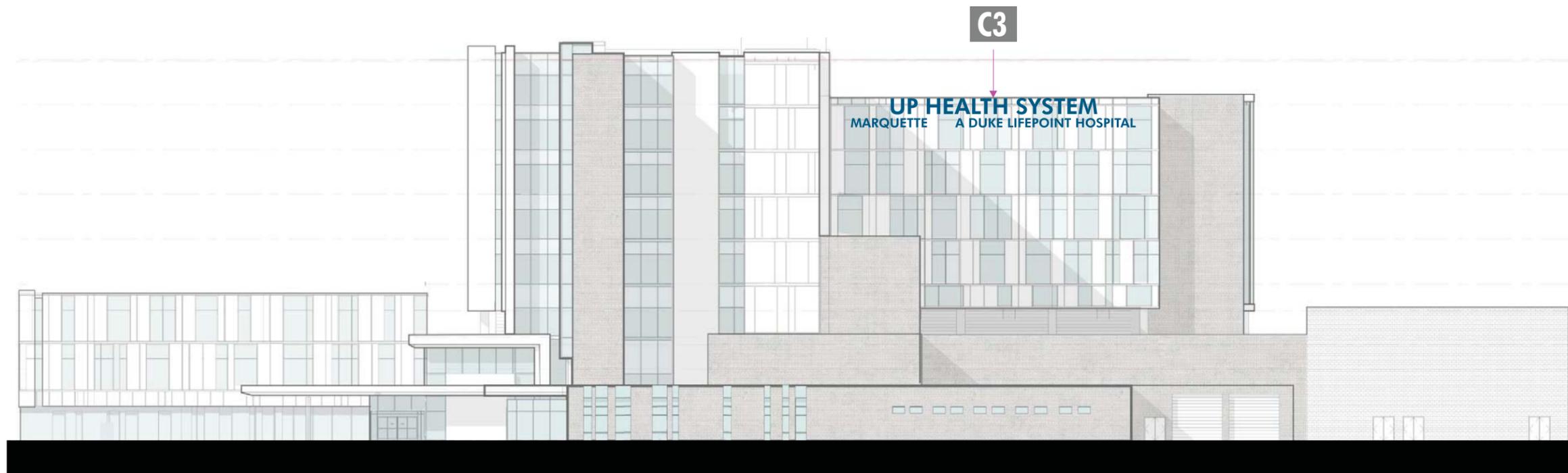
5'-6" 5'-0" 87'-0"

PATIENT/VISITOR PARKING

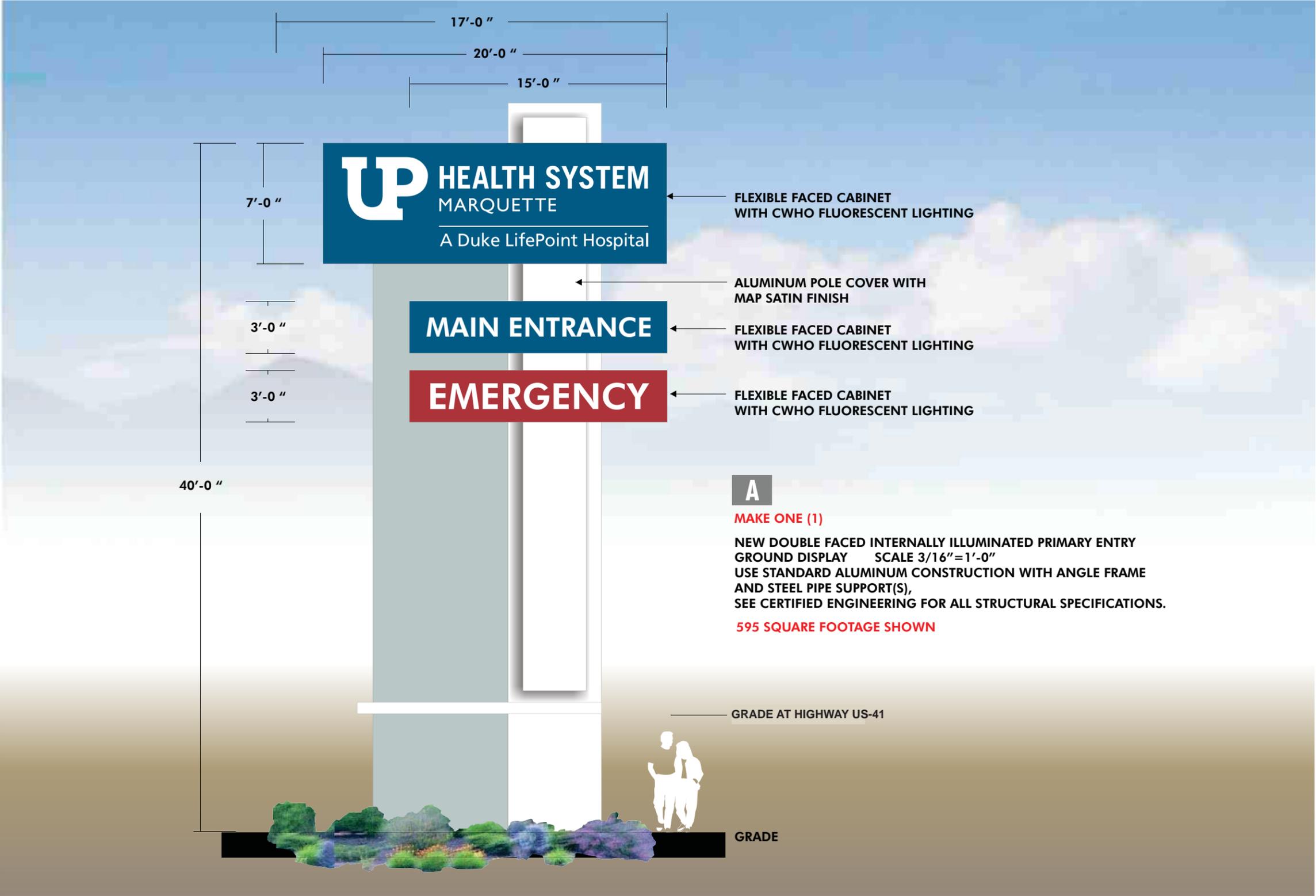
E NEW SINGLE FACED INTERNALLY ILLUMINATED WALL DISPLAY
SCALE 1/8"=1'-0"
USE PLEX FACED CHANNELS WITH THROUGH FACE ILLUMINATION,
CONTENT AND COLORS TBD BY UP HEALTH
478.5 SQUARE FOOTAGE SHOWN



PROPOSED WEST ELEVATION SCALE 1/32"=1'-0"



PROPOSED EAST ELEVATION SCALE 1/32"=1'-0"



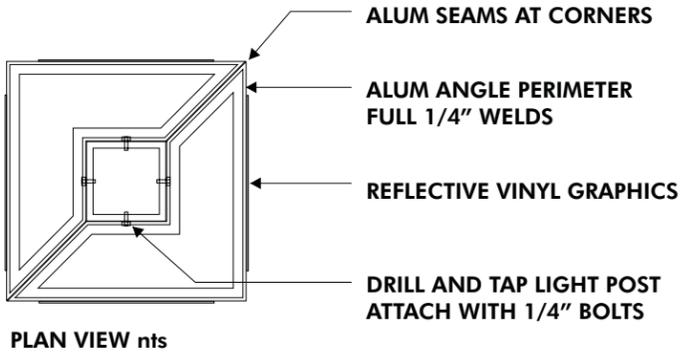
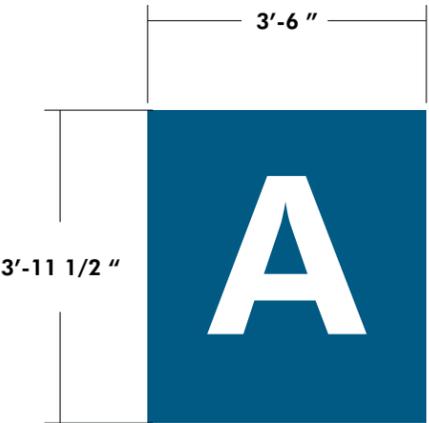
B MAKE FIVE (5)
 NEW DOUBLE FACED INTERNALLY ILLUMINATED SECONDARY ENTRY MONUMENT DISPLAYS
 SCALE 3/8"=1'-0"
 USE STANDARD ALUMINUM CONSTRUCTION WITH ANGLE FRAME AND STEEL PIPE SUPPORT(S),
 SEE CERTIFIED ENGINEERING FOR ALL STRUCTURAL SPECIFICATIONS.
 106.6 SQUARE FOOTAGE SHOWN

F VERIFY QUANTITY AND LOCATIONS
 NEW DOUBLE OR SINGLE FACED INTERNALLY ILLUMINATED DIRECTIONAL DISPLAYS
 SCALE 3/8"=1'-0"
 USE STANDARD ALUMINUM CONSTRUCTION WITH STEEL PIPE SUPPORT(S),
 GRAPHICS TO BE INTERCHANGEABLE
 23.75 SQUARE FOOTAGE SHOWN



SCALE 1/4" = 1'-0"

SHOWN WITH SUB COPY



MAKE EIGHT (8)

P NEW FOUR SIDED NON ILLUMINATED ALUMINUM CUBES FOR PARKING LIGHT POLES
 SCALE 1/2" = 1'-0"
 USE .080 ALUMINUM WITH MAP SATIN FINISH AND REFLECTIVE VINYL GRAPHICS,
 FABRICATE IN TWO PIECES TO SANDWICH LIGHT POLES,
 VERIFY DIAMETER OF LIGHT POSTS PRIOR TO FABRICATION.

- REFLECTIVE WHITE VINYL
 - PMS 301 C BLUE
- 14.0 SQUARE FOOTAGE SHOWN EACH





PROPOSED CONCEPTUAL SOUTH ELEVATION